

BROWNSVILLE

STRUCTURES

STUDY



July 2012

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BROWNSVILLE STRUCTURES STUDY

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SUMMARY OF BUILDING ANALYSIS

LDA reviewed the existing physical conditions of 14 structures owned by the Redevelopment Authority of the County of Fayette which stand within the Brownsville Commercial Historic District.

First, the structures were assessed to determine the extent of deterioration of the buildings since they were listed as “contributing buildings” in the National Register of Historic Places as part of the Brownsville Commercial Historic District nomination in 1993. The structural review found that all of the buildings suffer some level of deterioration ranging from roof leaks to major structural collapse of significant sections of roofs and floor structures. However, the exterior walls of these are in stable condition with no indication of bulging or cracking indicating structural failure. A sizeable portion of the rear wall of 62 Market Street is collapsed but is still repairable. Based on the structural stability of the primary structural systems and exteriors walls, LDA does not propose that any of the RACF-owned buildings which were the subject of this study be considered as non-contributing structures in the National Register Historic District.

The condition of each of the structures was further reviewed to determine the building’s potential for retail, office, and/or residential uses. Accessible areas of each building were surveyed by LDA, existing conditions were noted, and simple first floor plan drawings were created for each structure showing principal structural systems and locations of principal stairs and elevators.

Based on each building’s size and configuration, LDA made recommendations for possible adaptive uses. An emphasis was placed on uses for which a market need was identified in the Market Analysis prepared by Fourth Economy Consulting and uses which could be adaptively inserted into the existing structures in a manner that would qualify for federal Historic Tax Credits and the newly enacted Pennsylvania Historic Preservation Incentive Credit. The recommendations respect and reuse the historic attributes of each structure including entrances, storefronts and windows; interior circulation patterns and architectural details; and exterior architectural elements. The building reuse recommendations are provided at the conclusion of each building report.

The following table summarizes the building sizes and reuse potential.

The budget estimates are for complete restoration/replication of all building elements and installation of all new building systems. The cost of construction of new apartments and offices in “move in” condition is included as well as finished retail spaces ready for tenant fixtures. Many of the buildings are in a condition where they can be returned to useable service for substantially less cost.

BROWNSVILLE STRUCTURES STUDY

PROPERTY STATISTICS, REUSE POTENTIAL, AND COST ESTIMATES

		Ground Floor		Upper Floors			Estimated Rehabilitation Cost	Cap Rates	at 75% Occupancy
Address	Name	Stories	Retail	Apts.	Units	Offices		No Subsidy	With Subsidy
45 Market	Train Station	5	7,900	31,600	30		\$5,530,000	1.85%	3.70%
62 Market	2 nd National Bank	3	2,130			4,260	9,30,000	1.55%	4.53%
56 Market	Hotel	4	11,100	27,750	27		5,210,000	1.97%	3.95%
46 Market	Mon Bank	3	6,500			9,290	2,400,000	1.52%	4.25%
43 Market	Snowden	3	4,700	9,400	9		2,430,000	1.52%	3.04%
39-41 Market	2 Buildings	4	3,700	9,250	9		2,220,000	1.54%	3.09%
35 Market	Drugstore	3	4,145			8,920	1,620,000	1.81%	5.35%
29 Market	Church Reuse	3	1,980	3,960	4		880,000	1.83%	3.67%
21 Market	Kart's	2	3,600			3,600	1,110,000	1.53%	4.09%
17 Market	Gottzman	2	2,030			2,030	630,000	1.52%	4.06%
5 Market	G. C. Murphy	5	8,100			17,940	3,230,000	1.80%	5.35%
107 Brownsville Avenue	Newstand	3	1,800	3,600	4		760,000	2.06%	4.12%
124 Brownsville Avenue	Lodge	3	2,245	4,490	5		980,000	2.00%	3.99%
TOTALS			59,930	90,050	88	46,040	\$27,930,000		
Annual Demand in Market Area			24,083		816	124,273			
Market Study Reference			Page 10		Page 16	Page 25			

Notes:

1. See Market Study for further detail on demand and absorption rates;
2. Estimates assume typical concentrations of ACM and other hazardous materials for buildings of similar ages;
3. Estimates assume historic rehabilitation standards;
4. Allocation of upper floor uses is based on suitability of the space for each use.
Most upper floor spaces are adaptable to either office or residential use.

45 Market Street

Train Station

Construction Type: Concrete encased steel or reinforced concrete superstructure
Construction tile and concrete floors
Construction tile and concrete unit partition walls

First Floor: Train station and two retail stores – 7,900 SF
Floors 2-5: Offices with central corridor – 31,600 SF total

General Conditions: Building is solid and stable
Significant roof leaks have caused damage to plaster ceiling
and wall surfaces but have not cause structural damage

Stabilization Recommendations:
Patch roof
Repair/replace downspouts
Assure that all window openings are protected while providing
natural ventilation



Market Street Elevation

45 Market Street

Train Station

General Description:

The train station building is the most heavily structured building within the scope of this study and has suffered the least damage due to water infiltration. The building is entirely of non combustible construction composed of concrete encased steel (possible reinforced concrete) with construction tile and concrete floors. Interior partitions are plaster on construction tile.

The northern two thirds of the first floor are designed for public railroad terminal functions while the two southernmost bays serve retail stores. The four upper floors are designed as offices along a central corridor. Enclosed stairs connect all levels at the north end of the building and adjoining the elevators at the main entrance foyer. The south end of the building is not served by two remote sets of stairs. Reuse plans will need to address this issue.

Reuse Recommendations:

Possible first floor uses include retail, office, and public function activities. The upper floors are adaptable to office or apartment use. A large office tenant or large apartment units at the south end of the building might mitigate the “dead end corridor” situation caused by the southernmost stair being located at the elevator lobby area instead of at the south end of the building.



View from North



River Elevation



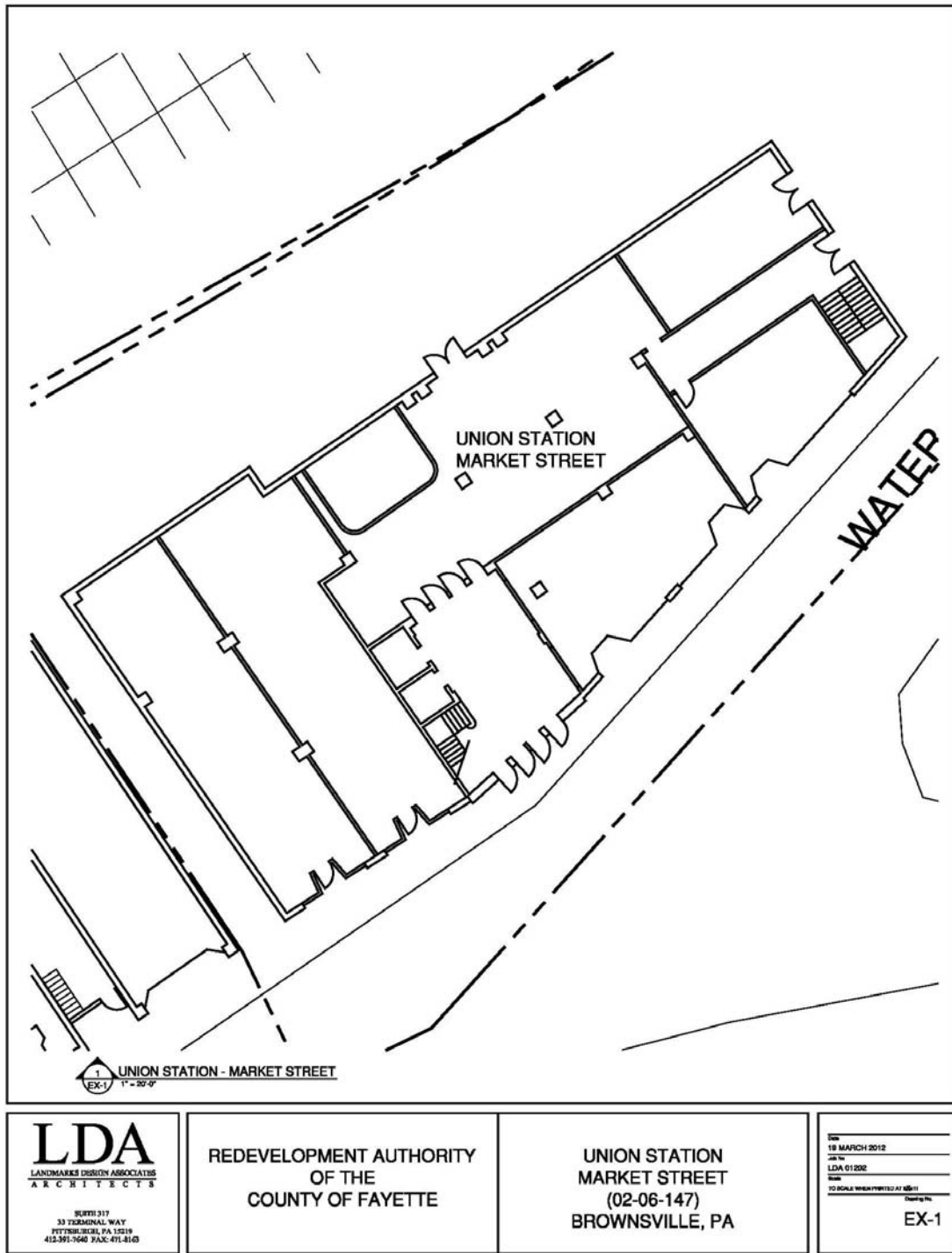
Entry Lobby



Typical Upper Floor with water damage.



First floor remnants of ticket office



62 Market Street

Second National Bank

Construction Type: Masonry exterior walls with steel and wood interior framing

First Floor: Bank Hall – 2,130 SF Total

Floor 2-3: Offices – 4,260 SF

General Conditions: Extensive water damage to wood structural elements
Large section of rear wall collapsed

Stabilization Recommendations:

Rebuild portion of rear brick wall that has collapsed

Patch roof

Replace downspouts

Assure that all window openings are protected while providing natural ventilation



Market Street Elevation

62 Market Street

Second National Bank

General Description:

This small three story building includes a marble lined banking space on the main level and offices on each of the upper two floors reached by a stair leading directly up from Market Street. A significant section of the rear wall has collapsed on every level except the third floor and the section above will likely collapse in due time. Primary water damage is at the rear southeast corner of the building which is also the area of the exterior masonry wall failure.

Reuse Recommendations:

The first floor can be adapted to serve as a single commercial or small office space. The space provides 2,130 square feet. The upper floors could be rehabilitated as offices or apartments. The small floor plate and ready access to windows offers considerable flexibility for reuse.



Main Floor

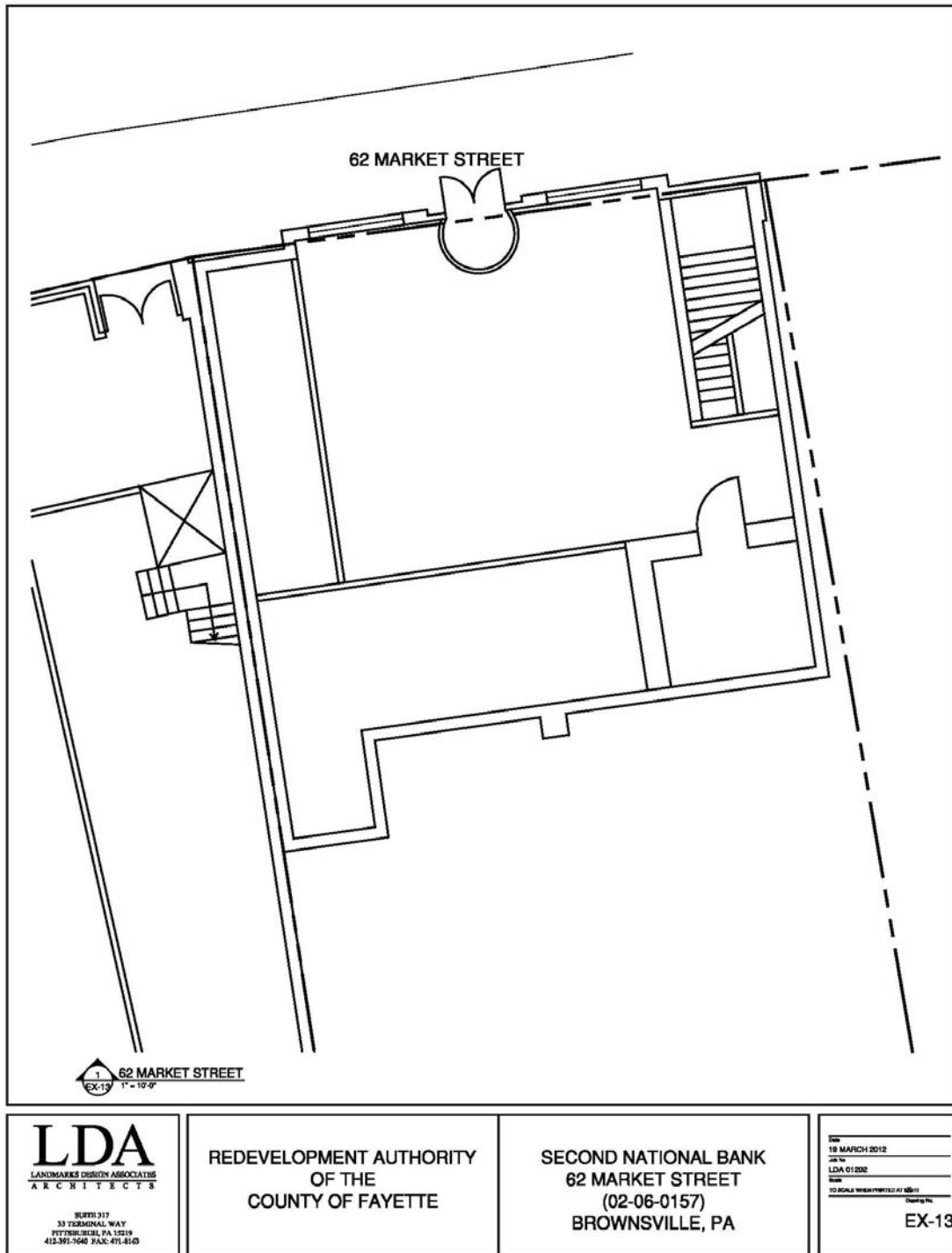


Rear Elevation



Main Floor looking to rear wall

BROWNSVILLE STRUCTURES STUDY



56 Market Street

Town House Hotel

Construction Type: Steel frame with bar joists. Concrete floors on wire mesh

First Floor: Hotel public spaces and two retail stores – 11,100 SF

Floors 2-4: Hotel rooms – 27,750 SF

General Conditions: Roof leaks predominately at downspouts.
Fallen and loose plaster throughout the building
Severe water damage to structure at rear first floor rooms

Stabilization Recommendations:

Repair main roof
Replace lower roofs
Repair/replace downspouts
Assure that all window openings are protected while providing natural ventilation



Market Street Elevation

56 Market Street**Town House Hotel***General Description:*

The Town House Hotel is a four story brick building with a steel superstructure and concrete floors. The first floor of the front façade is divided into 5 bays, all but one of which is devoted to retail/commercial use. The Hotel entry which faces Market Street at the north end the Market Street facade leads to an elongated entry space which connects to the hotel's public rooms at the rear of the structure. Water damage is extensive in the two large rear first floor rooms which are directly below roof areas.

A stair and elevator near the main entry connect to all of the upper floors. The upper three floors are nearly identical with an "L" shaped double loaded corridor running parallel with Market Street and connecting to the additional emergency stairs at the eastern end of the building.

The main roof is in poor condition but major roof leaks are limited to downspout areas. The lower roofs which cover first floor spaces that extend beyond the line of the upper floors are in poor condition.

Reuse Recommendations:

The non combustible construction and the upper floor layout make the building a natural conversion to apartment use. Stairs are located at both ends of the upper floor corridors and the 16' room widths adapt readily to apartments. The entire front section of the first floor is only viable as commercial use because of its complete lack of windows except those facing Market Street. The rear portions of the first floor may be adaptable to apartment use although apartments are not as natural of a fit here as they are on the upper floors.



Hotel Entry Corridor



First Floor Lobby Space



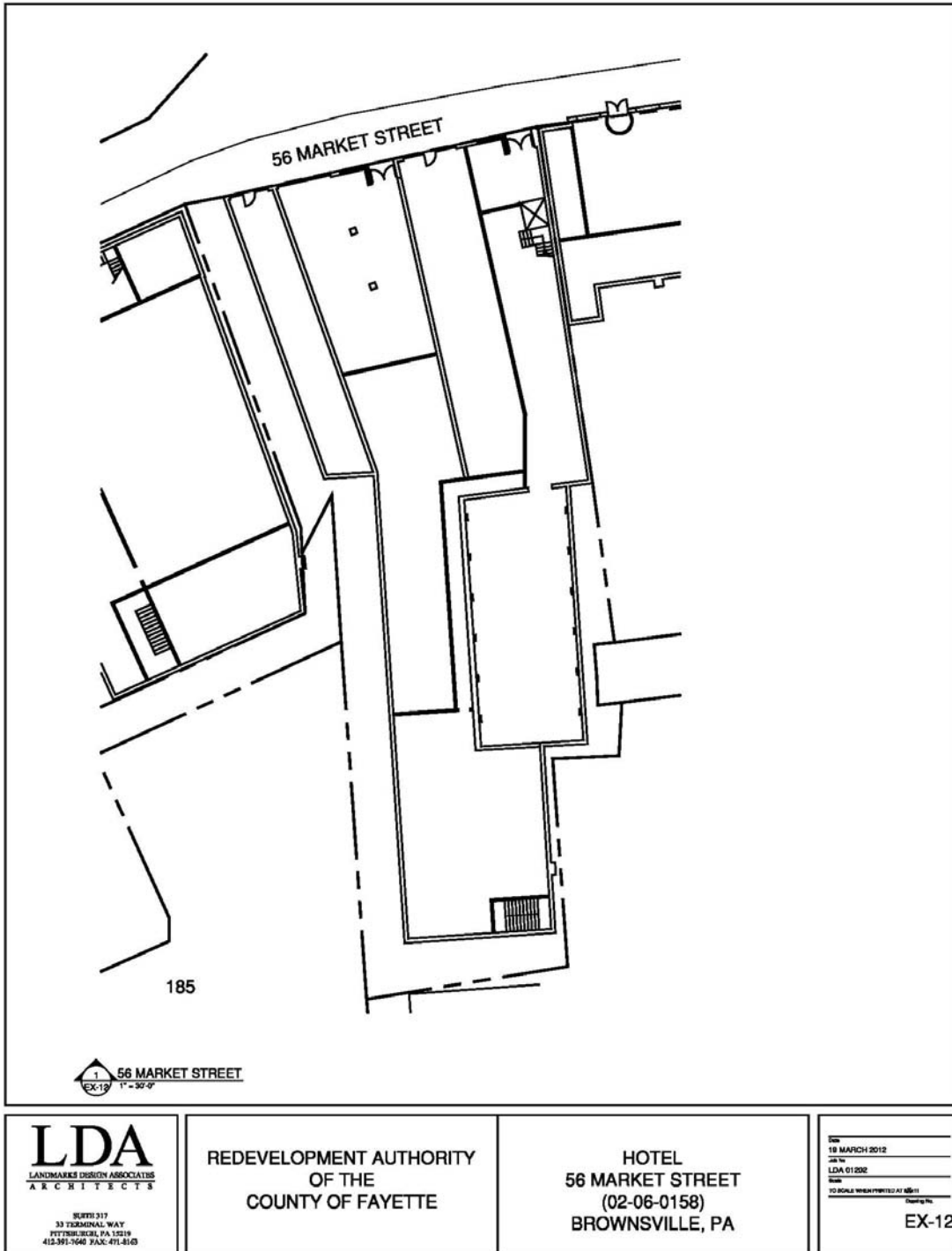
East Wing

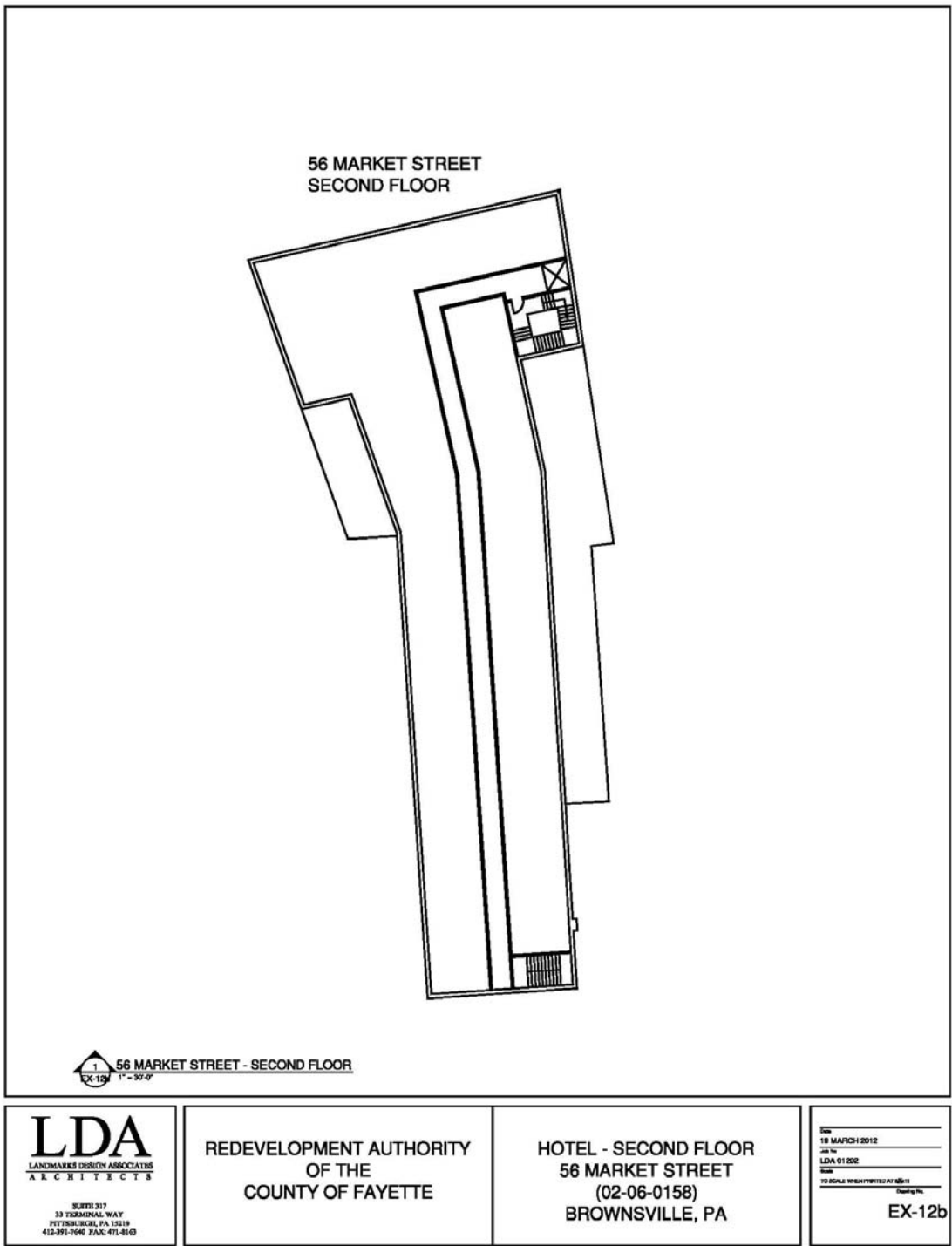


Rear Elevation



First floor retail space





46 Market Street

Monongahela Bank

Construction Type: Masonry bearing walls, steel superstructure. Wood joist upper floor framing.

First Floor: Banking Hall – 6,500 SF

Floor 2: Offices – 2,790 SF

Floor 3: Offices – 6,500 SF

General Conditions: Extensive water damage at upper floors especially at front spaces
Decorative plaster ceiling in banking hall intact but stability unknown

Stabilization Recommendations:

Install new roof, downspouts

Ventilate all spaces

Remove all loose and water saturated materials

Assure that all window openings are protected while providing natural ventilation



Market Street Elevation

46 Market Street

Monongahela Bank

General Description:

The Monongahela Bank Building is organized around the main banking floor which is a two story high space. The main entry on Market Street leads to a foyer which includes stairs to the second floor. The second floor is "L" shaped, wrapping around the West and South sides of the Main Banking Hall. Near the center of the south wall, a stair connects the second floor to the third floor which occupies the entire upper level. The third floor is divided into offices which have suffered extensive water damage. The water damage does not appear to have affected the structural integrity of the roof and floor systems, however, it will if stabilization measures are not implemented. The ornamental plaster ceiling of the Banking Hall does not show signs of failure but its condition will continue to deteriorate until the water infiltration from the third floor is stopped.

On the main floor smaller offices line the west and south sides of the main banking floor. The offices along the south wall were inaccessible. A mezzanine exists at the east end of the banking hall above the vault.

Reuse Possibilities:

While the second and third floors could be reused as office or residential space, the first floor is more problematical. Even if a mezzanine were added, this large interior space is only suited to public or commercial uses.



South Elevation



Roof



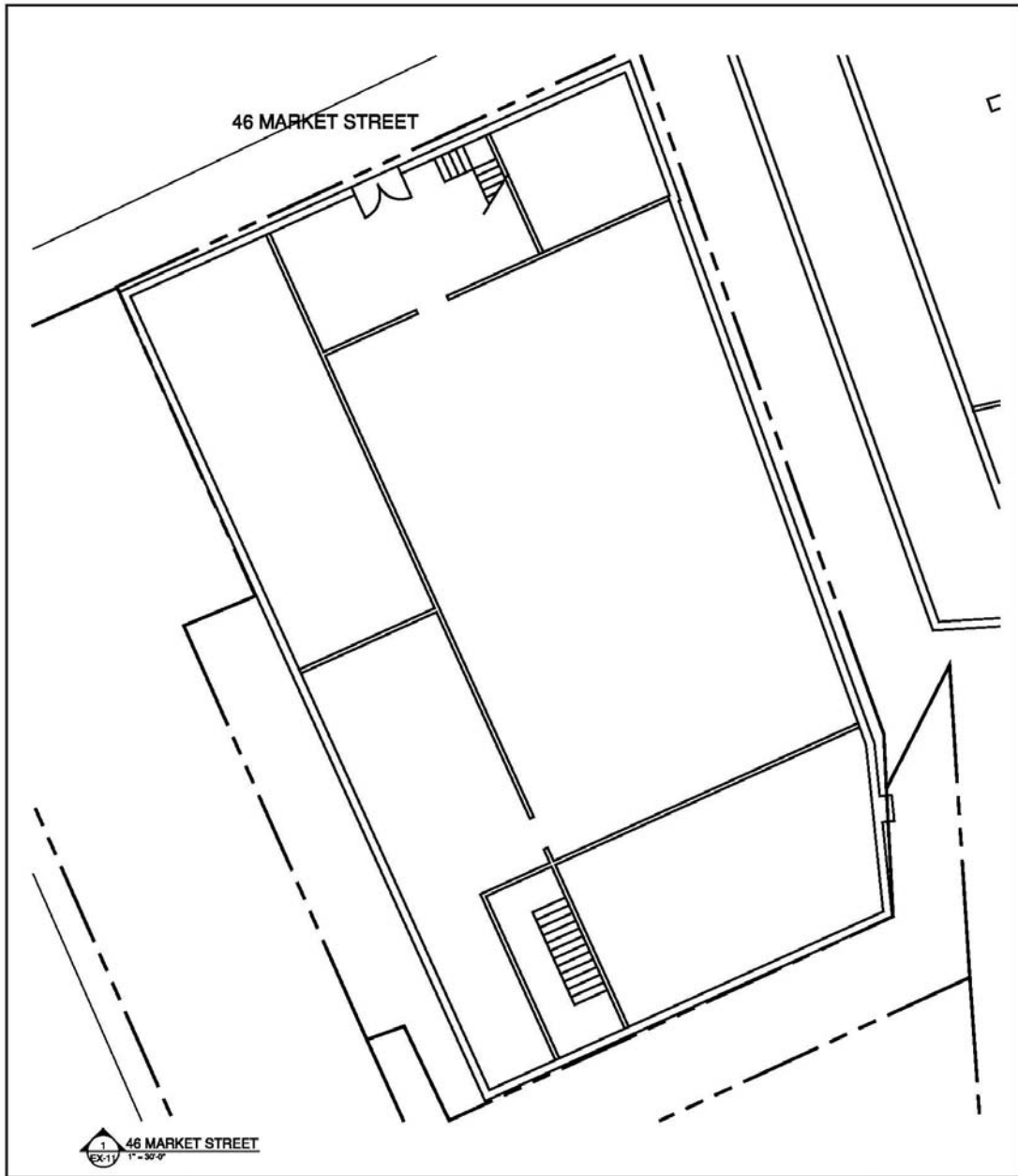
Offices adjoining Main Banking Floor



Third Floor Offices



Stair connecting second and third floors



LDA LANDMARKS DESIGN ASSOCIATES ARCHITECTS SUITE 317 33 TERMINAL WAY PITTSBURGH, PA 15219 412-391-7040 FAX: 412-414-0103	REDEVELOPMENT AUTHORITY OF THE COUNTY OF FAYETTE	MONONGAHELA BANK 46 MARKET STREET (02-06-0159) BROWNSVILLE, PA	Date 18 MARCH 2012 Job No. LDA 01202 Scale TO SCALE WHEN PRINTED AT 1/8"=1'-0" Drawing No. EX-11
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43 Market Street

Snowdon

Construction Type: Interior bearing walls and steel superstructure. Wood joist floor framing.

First Floor: First Floor – 4,700 SF

Floors 2-3: Offices or Apartments – 9,400 SF total

General Conditions: Upper floors are inaccessible
Center stair hall has collapsed
Southern two bays in advanced state of deterioration

Stabilization Recommendations:

Install new roof structure where existing has collapsed
Install new roof and downspouts
Remove all loose and water laden materials
Assure that all window openings are protected while providing natural ventilation



Market Street Elevation

43 Market Street

Snowdon

General Description:

The front of this structure follows the curve where Water Street diverges from Market Street. On the first floor a large intact recessed storefront exists at the two southernmost bays and a single modified storefront stands at the northernmost bay. Between these a narrow bay contains the entrance to what appears to have been a large east west stair hall which provided access to the upper floors. The stair and large sections of the first, second and third floors have collapsed in this area. The two retail bays to the south of the entry corridor are in a severely deteriorated state. Portions of the second floor have collapsed in both spaces. The first floor is not structurally sound in large areas.

The retail space to the north of the entry corridor is in the best condition. There is moderate water damage and portion of the first floor is unstable. A four sided balcony is visible above the modern dropped ceiling.

The Building has a large hipped roof skylight covering a significant portion of the roof.

The front and rear walls of the structure appeared to be structurally stable with no signs of bulges or cracks.

Reuse Recommendations:

The first floor is most useful as retail or commercial use. The upper floors could be reconfigured to suit office or apartment use. It would be worth investigating the rehabilitation of this structure in conjunction with the adjoining properties at 39-41 Market Street in a concept where they could share stairs and elevators. The relationship between floor levels on each structure will require detailed investigation.



Market Street Storefront Area – South Bays



Interior East West Corridor



Corridor Entry



First Floor South Bays

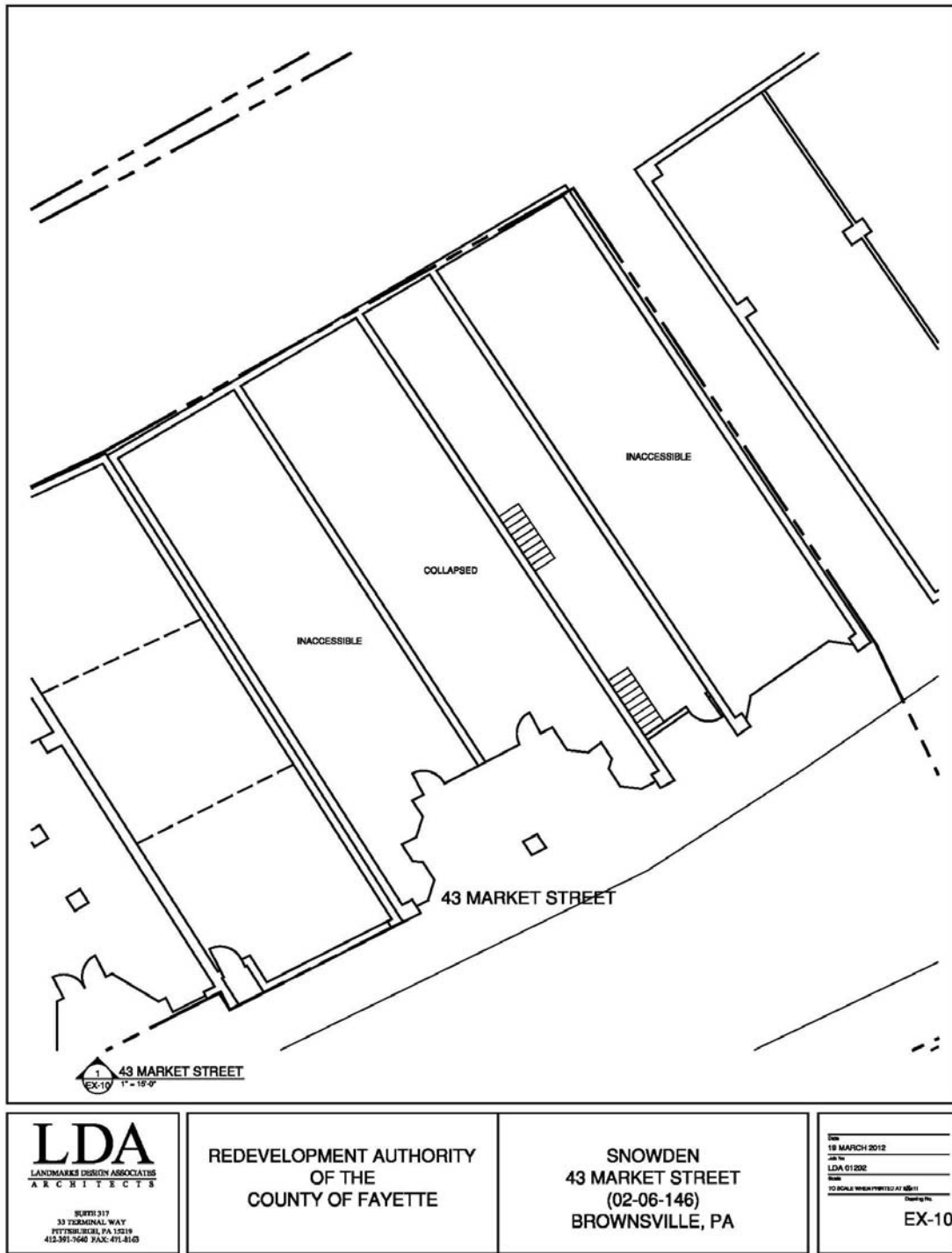


First Floor North Bay



River Elevation

BROWNSVILLE STRUCTURES STUDY



39 - 41 Market Street

Two Buildings

Construction Type: Masonry bearing walls. Steel superstructure. Wood secondary and joist framing

First Floor: Retail – 3,700 SF

Floors 2-4: Offices – 9,250 SF

General Conditions: The roof and upper floors at 41 Market Street have collapsed from the roof to the basement. A portion of the floors in poor condition remains at the front and rear of the building. The interior of 39 Market is in an advanced state of decay.

Stabilization Recommendations:

Install new roof structure where existing has collapsed

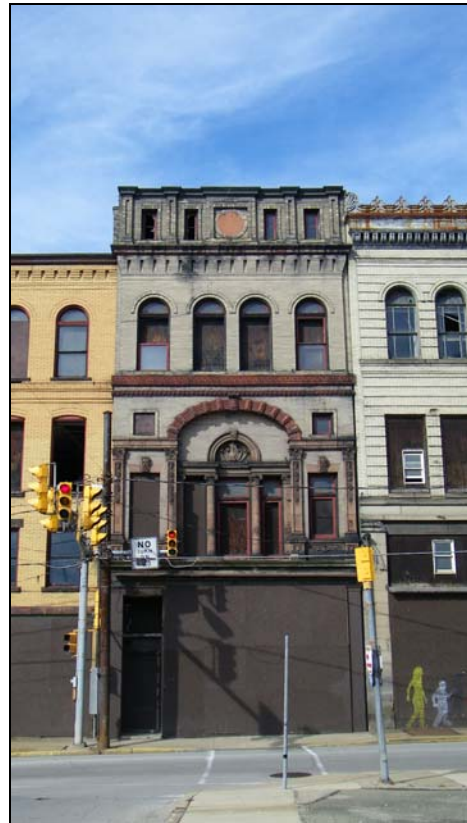
Install new roof and downspouts

Remove all loose and water laden materials

Assure that all window openings are protected while providing natural ventilation



39 Market Street



41 Market Street

39 – 41 Market Street

Two Buildings

General Conditions:

The southern structure in this pair (39) is a four story yellow brick building. The recessed storefront area in fair condition. The first floor is in an advanced state of decay with deteriorated first and second floor structures.

41 Market Street, has collapsed from the roof. A portion of the structure remains at the Market Street façade and at the westernmost bay. There is no sign that the structural integrity of the party walls and the front and rear facades is compromised. There are no signs of bulging or cracking in these facades.

Reuse Recommendations:

The collapse of the interior structure at 39 and 41 Market allows a reconfiguration of the interior space to suit a new tenant. 39 and 41 could be reused together or individually depending on the desired uses. First floor commercial use with upper floor office or residential use is the most likely reuse. A larger development could consider combining these structures with the Snowdon Building to the north so that all three structures could share elevators and stairs. Variations in floor heights will require investigation, however, due to the need to construct new floors, this height could be adjusted somewhat during a rehabilitation.



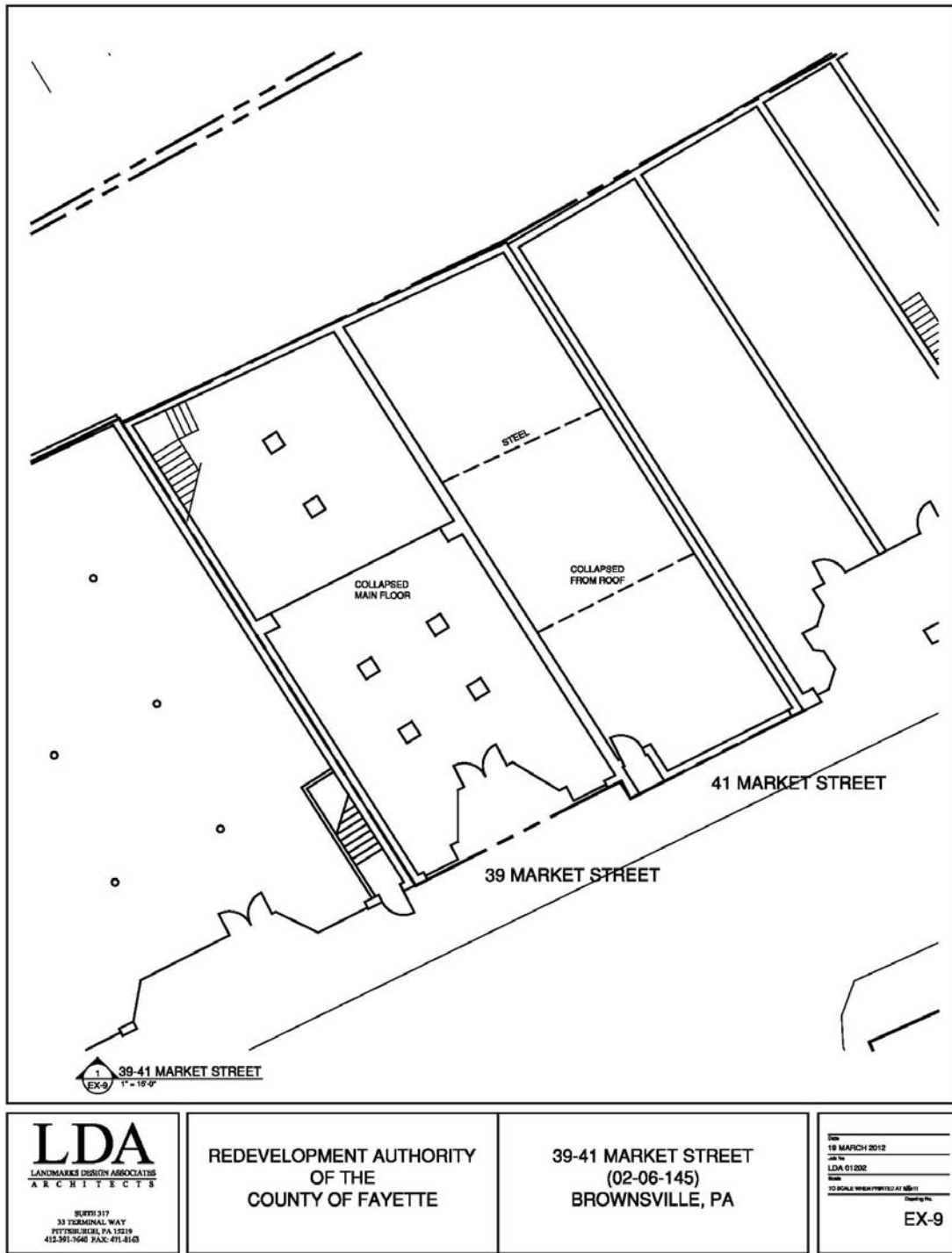
Interior of 41 Market Street



First Floor of 39 Market Street



River Façade



35 Market Street

Drug Store

Construction Type: Steel superstructure. Wood joist floor framing

First Floor: Drugstore – 4,145 SF

Floor 2: Offices – 8,290 SF total

General Conditions: No obvious water damage
Modern interior finishes on first floor
Upper floors inaccessible

Stabilization Recommendations:

Clean out loose debris
Provide ventilation at windows
Assure that all window openings are protected while providing natural ventilation



Market Street Elevation

35 Market Street**Drug Store***General Description:*

This is a broad building, almost as wide as it is deep, with an open floor plan on the first floor of 3 bays by 4 bays marked by slender steel pipe and tube columns. The second and third floors are inaccessible and assumed to house offices. The third floor does not appear to be full height its entire depth. There is no obvious water damage on the first floor. The Market Street façade has been altered with a contemporary storefront at the first floor and sealed and altered windows on the upper floors.

Reuse Recommendations:

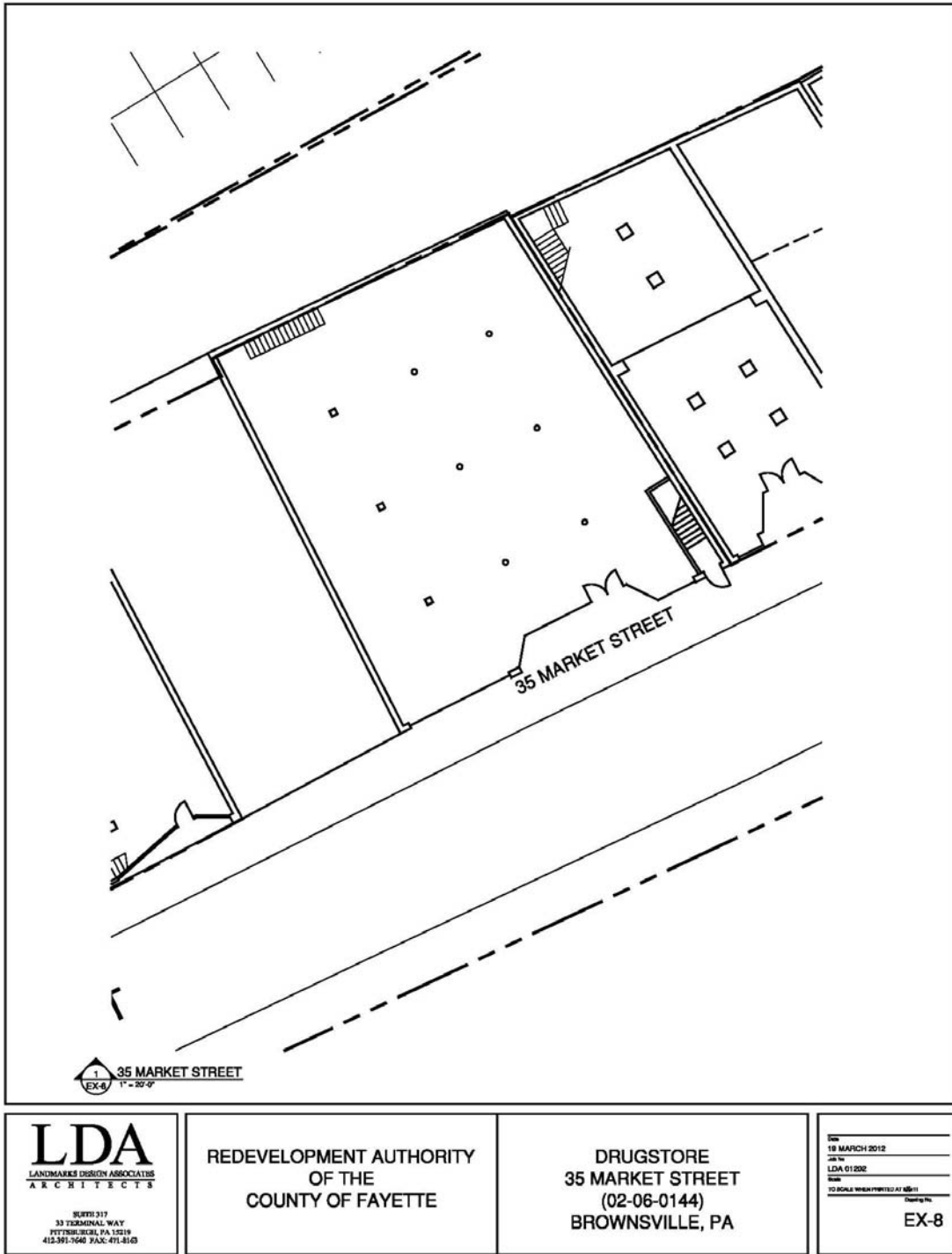
With the large floor plates this buildings reuse possibilities are largely limited to first floor retail and upper floor offices. The addition of a light court at the interior of the floor plate could open up possibilities for upper floor residential use.



First Floor Interior



River Elevation



29 Market Street

Church

Construction Type: Masonry bearing walls
Steel superstructure
Wood joist floor framing.

First Floor: Former retail – 1,980 SF
Floors 2-3: Offices or apartments – 3,960 SF

General Conditions: Extensive water damage throughout space
Stair to third floor in very poor condition

Stabilization Recommendations:
Repair/replace roof
Remove all loose and water laden materials
Assure that all window openings are protected while providing natural ventilation



Market Street Elevation

29 Market Street

Church Function

General Description:

What was originally likely a storefront has been severely altered at the first floor Market Street elevation of this three story white brick building. The interior is devoid of original architectural details on the first floor and significantly water damaged throughout. Partial demolition of interior partitions is visible at the third floor.

Reuse Recommendations:

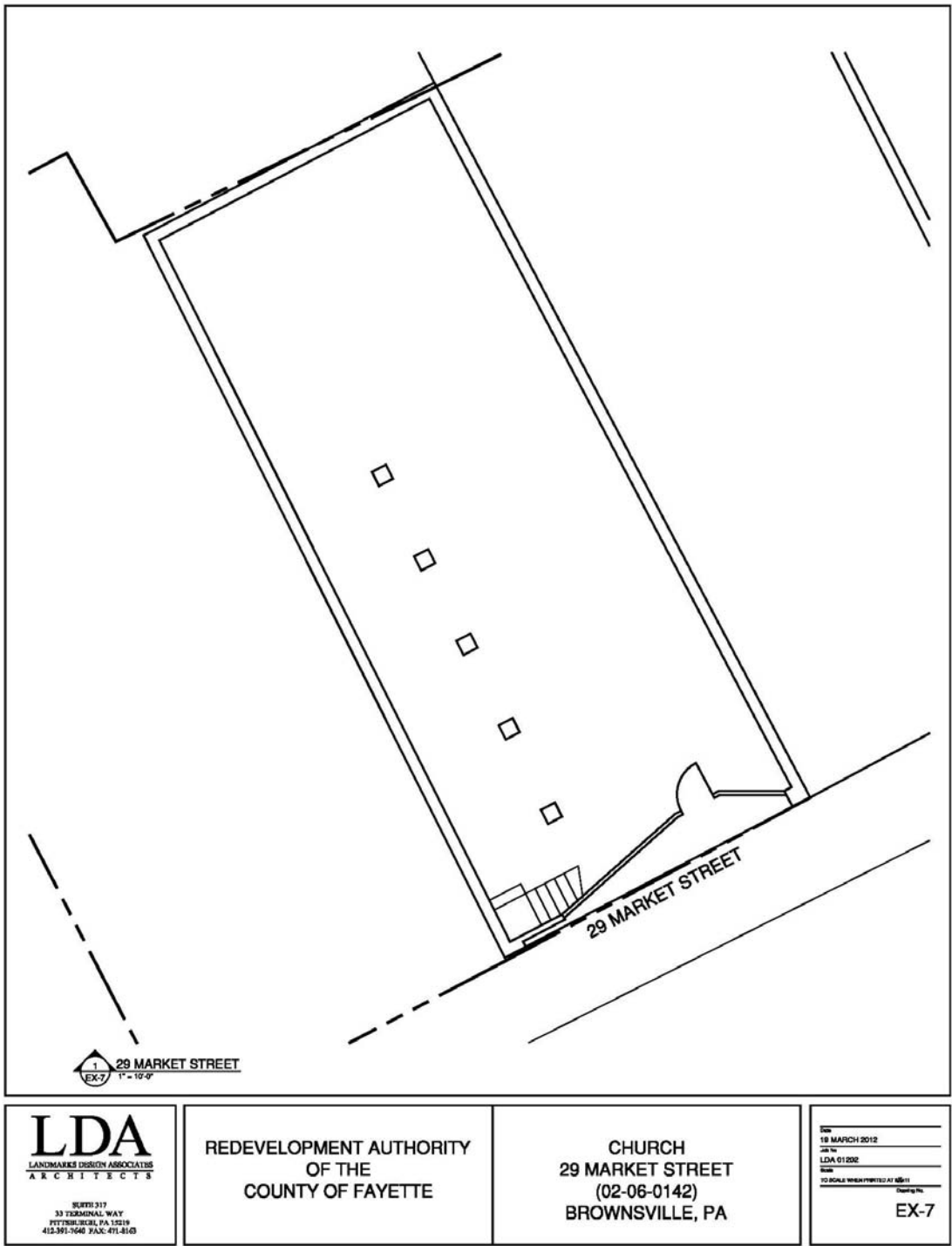
First floor reuse possibilities are typically retail or office. Because of the relatively narrow floor plate the structure could be refashioned with apartments front and back on all floors.



Third Floor



River Elevation



21 Market Street

Karts

Construction Type: Masonry bearing walls and wood framing

First Floor: Retail – 3,600 SF

Floor 2: Retail - 3,600 SF

General Conditions: A metal sided addition in poor condition stands at the rear of the building

The structure is inaccessible beyond storefront windows

Building is assumed to be structurally sound with localized water damage

Stabilization Recommendations:

Repair roof and downspouts

Seal openings at rear of building

Assure that all window openings are protected while providing natural ventilation



Market Street Elevation

21 Market Street

Karts

General Description:

Kart's is a two story brick building with storefronts lining Market Street on the first floor. The storefront area is accessible and in fair condition. The first floor area which is visible through the storefront windows appears dry with a central stair leading to the second floor. The rear of the building has a two story metal faced section which appears to be an addition to the original rear wall of glazed concrete block. An interior bearing wall is assumed to exit between the slightly taller southern portion of the building and the larger northern section.

Reuse Recommendations:

Due to the broad, almost square, footprint, the building is most viable either as continued retail use or office.

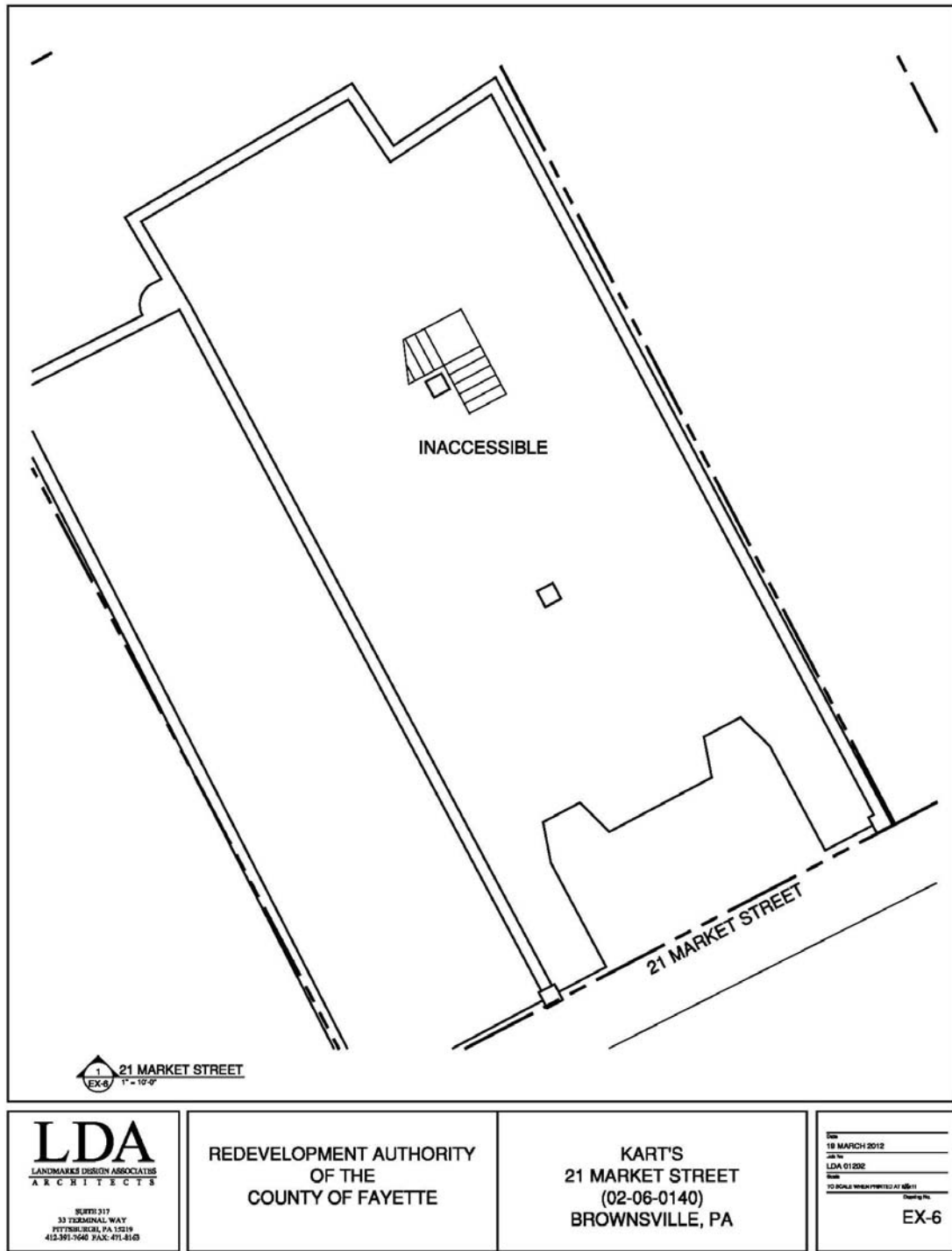


River Elevation



River Elevation

BROWNSVILLE STRUCTURES STUDY



17-19 Market Street

Gottzman Property

Construction Type: Masonry bearing walls, steel, wood floor framing

First Floor: Retail - 2,030 S.F.

Second Floor: Unknown - 2,030 S.F.

General Conditions: Rear of structure has collapsed

Front is inaccessible

Stabilization Recommendations:

Repair roof over standing section

Seal rear of building at last structurally sound bay

Assure that window openings are secure and provide natural ventilation



Market Street Elevation

17-19 Market Street

Gottsman Property

General Description:

This is a relatively small two story commercial brick building that was inaccessible at the time of this study. The first floor has evidence of a commercial storefront. The rear of the building has collapsed exposing steel beams which span between the structure's party walls. Wood floor framing spans the distance between the steel beams.

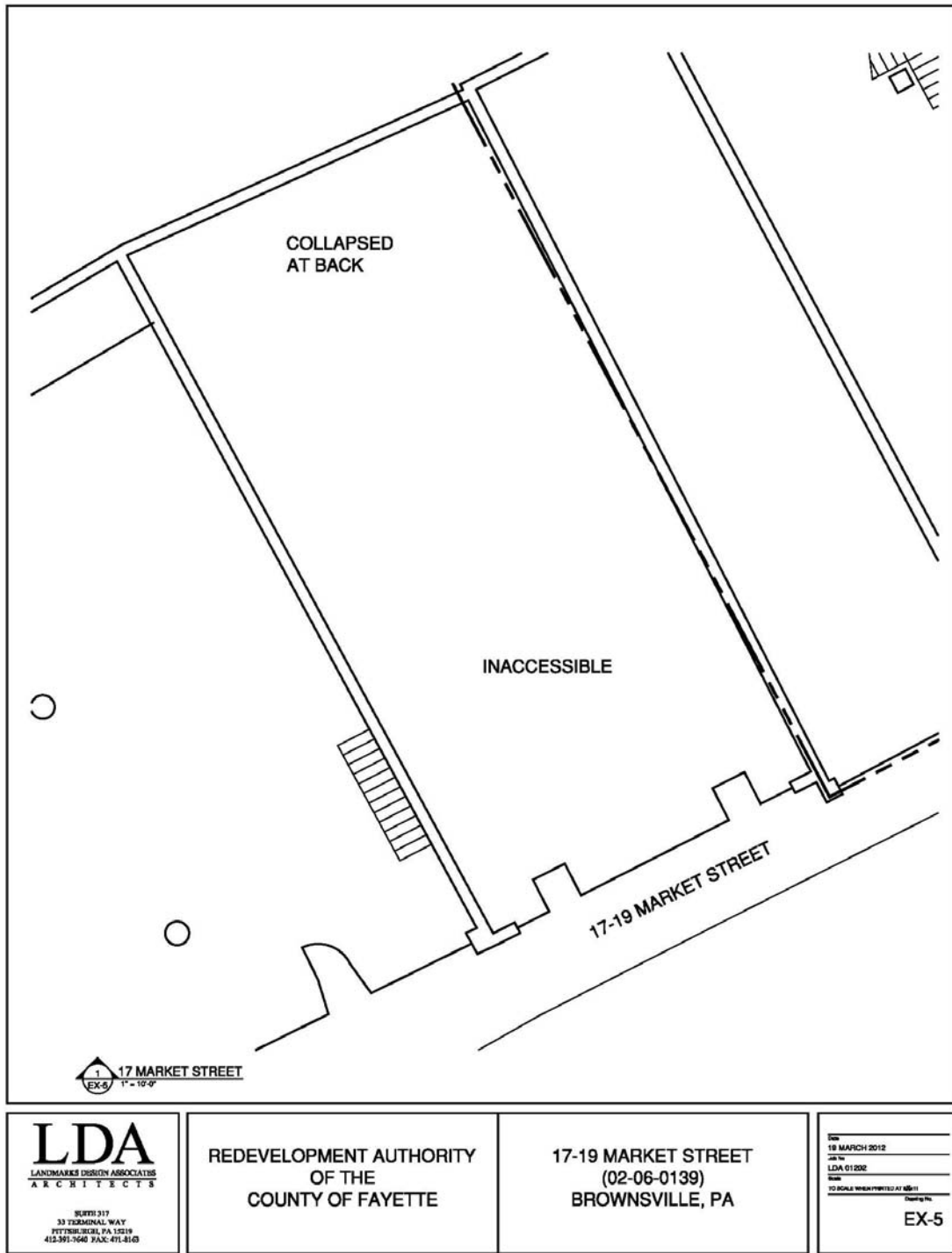
Reuse Recommendations:

Commercial office reuse is the most likely scenario for this structure. While demolition is a last resort, an opening at this location would provide much needed service access to the two adjoining buildings and an expanded possibility for residential or office use in the two flanking structures.



River Elevation

BROWNSVILLE STRUCTURES STUDY



5 Market Street

G. C. Murphy

Construction Type: Steel superstructure
Wood joist floor framing

First Floor: Retail – 8,100 SF
Floor 2: Retail – 8,100 SF
Floor 3-5: Retail or offices – 9,840 SF

General Conditions: Extensive water damage at rear wall of both buildings
Buildings are otherwise stabile and relatively dry
Upper floors of the 5 story building are inaccessible and may have more extensive water damage

Stabilization Recommendations:

Repair roofs at rear of structure
Replace downspouts
Remove loose and water laden debris
Assure that all window openings are protected while providing natural ventilation



Market Street elevation of both structures

5 Market Street

G. C. Murphy

General Description:

This property includes two buildings which were joined to provide retail and office space for the G. C. Murphy Company. The southernmost building is a five story brick structure with retail space contiguous to the adjoining building to the north on the first and second floors. The upper floors of this building were not accessible due to the collapse of the stair at the southwest corner of the building. The observable structure was in fair condition except for the water damage and stair collapse at the southwest corner. It is presumed that the upper floors are in similar condition.

The northern structure of this group is a two story white brick building with open retail space on both floors and glass storefronts lining Market Street on the first floor. Water damage is limited to the rear (west) wall where roof leaks and defective downspouts exist. Both structures are of brick bearing wall and steel frame construction. The floor structures are likely wood but may be constructed using bar joists in the two story building.

Reuse Recommendations:

The upper floors of the five story building may have some use for residential. The great depth from Market Street to the river limits the most effective use of the floors unless windows can be added on the north face of the building. This is only possible at the fourth and fifth floors.

The lower floors are most viable as continued commercial use but could have reuse possibilities for office users that desire large floor plates.



Second Floor Interior North



Second Floor Interior South

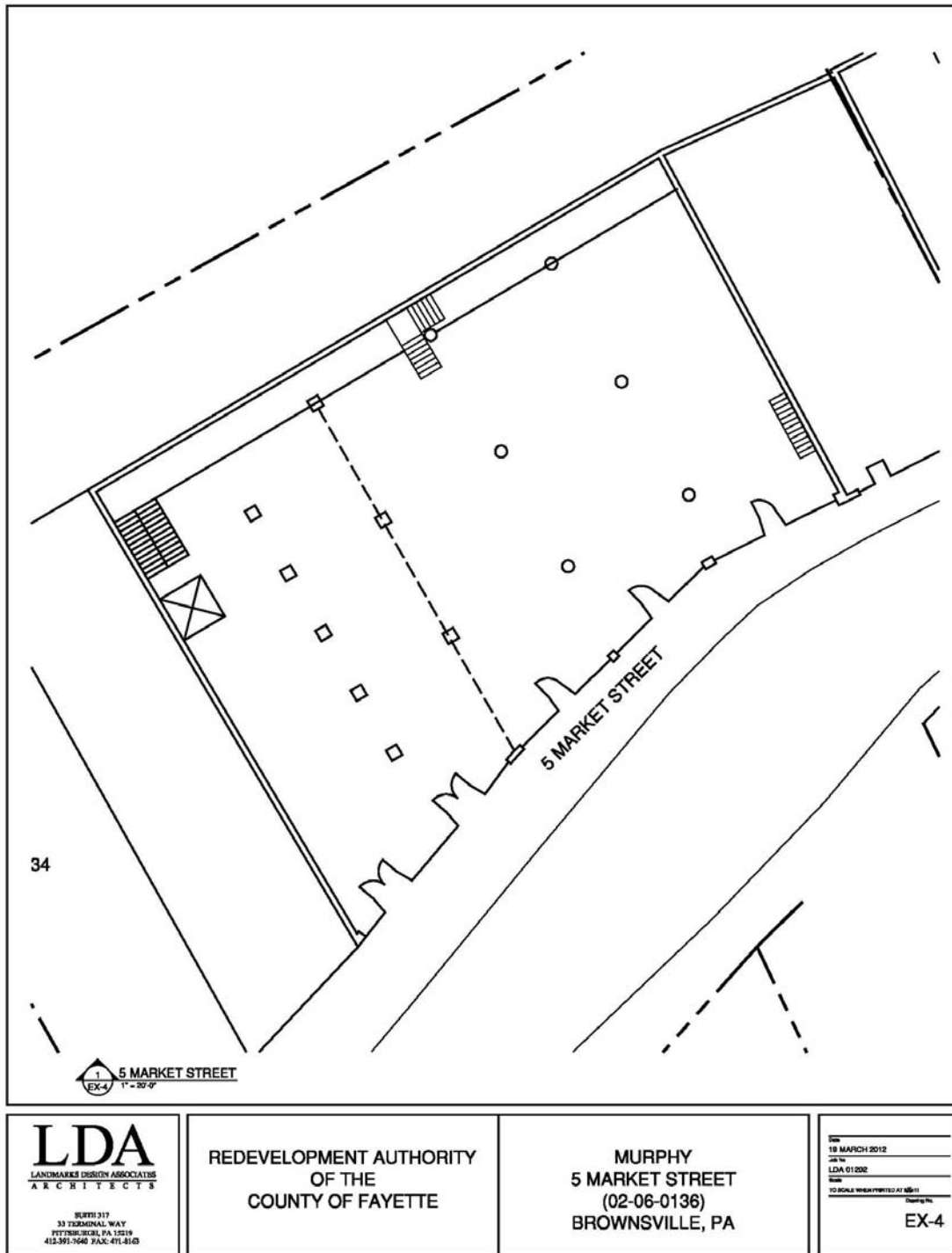


River Elevation, 2 Story Building



River Elevation, 5 Story Building

BROWNSVILLE STRUCTURES STUDY



107 Brownsville Avenue

Newsstand

Construction Type: Masonry bearing walls, wood floor framing and interior framing

First Floor: Two retail stores - 1,800 SF

Floors 2-3: Three apartment units – 3,600 SF

General Conditions: Building is stable with no major problems
Interior and roof require renovation
Balconies are likely structurally compromised.

Stabilization Recommendations:

Patch roof

Test structural stability of balconies

Assure that all window openings are protected while providing natural ventilation



Brownsville Avenue Elevation

107 Brownsville Avenue

Newsstand

General Description:

This modestly scaled three story building is in relatively good condition with roof leaks confined to isolated areas. A central stair leading to the upper floors divides the two retail spaces on the first floor. Two apartments occupy the second floor and a single apartment occupies the third floor.

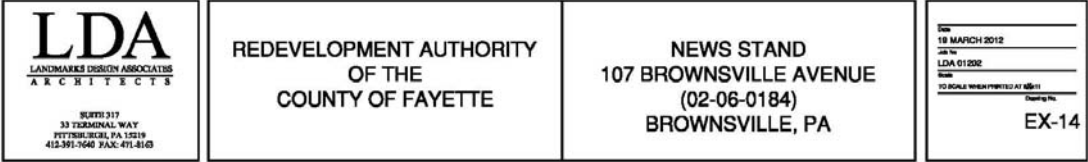
Reuse Recommendations:

The most likely reuse of this structure is a continuation of the original uses – first floor retail with 3 or 4 apartments above.



Rear Elevation

BROWNSVILLE STRUCTURES STUDY



124 Brownsville Avenue

Lodge

Construction Type: Masonry bearing walls
Steel beams
Wood floor structures

First Floor: Lounge – 2,245 SF

Floors 2-3: Lodge – 4,490 SF

General Conditions: The second and third floors were inaccessible
The rear wall is severely shifted and cracked

Stabilization Recommendations:

Patch roof
Remove loose debris
Stabilize rear wall
Assure that all window openings are protected while providing natural ventilation



Lodge Front

124 Brownsville Avenue

Lodge

General Description:

This is a three story brick building with a bar/lounge on the first floor. The second and third floors were inaccessible but are assumed to contain meeting rooms. The brick at the rear wall is heavily cracked and shifted out of plumb.

Reuse Recommendations:

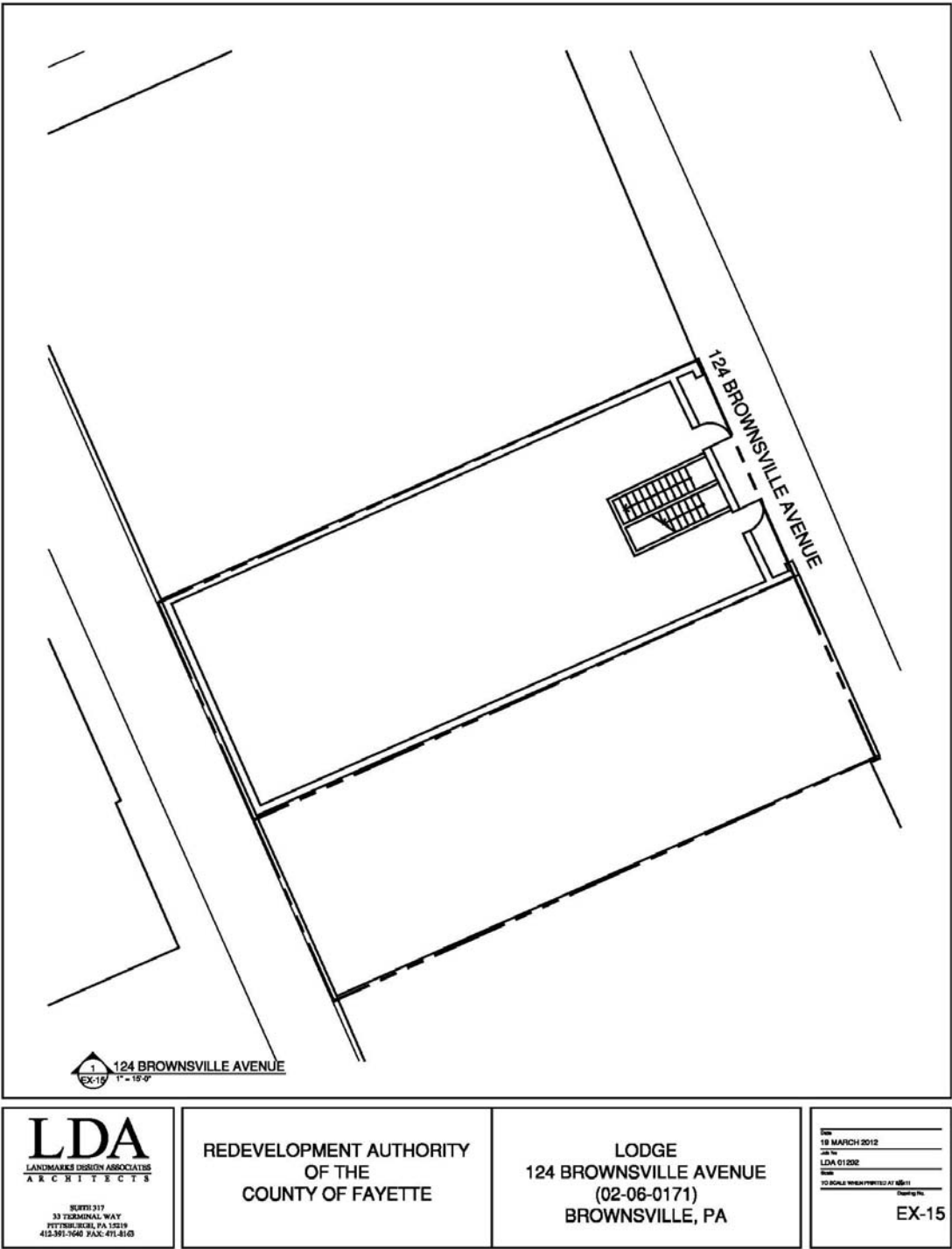
Similar to 107 Brownsville Avenue, across the street, this structure will most readily adapt to first floor retail with apartments above.



Rear Elevation



First Floor



SHADED BUILDINGS INDICATE
STRUCTURES CURRENTLY OWNED BY
THE REDEVELOPMENT AUTHORITY OF
THE COUNTY OF FAYETTE WITHIN THE
BROWNSVILLE COMMERCIAL HISTORIC
DISTRICT.

REDEVELOPMENT
AUTHORITY OF THE
COUNTY OF FAYETTE
BROWNSVILLE, PA

SITE PLAN

Date	Revisions:
2 JULY 2012	
Project No.	
LDA 01202	
Scale	
to scale when printed at 24X36	

Drawing No.

SP-1

